

SOUTH & WEST PLANS PANEL

9th January 2025



APPLICATION: 22/06370/FU

PROPOSAL

Demolition of the existing buildings and construction of a new building for residential use (Use Class C3), provision of internal roads for vehicular and pedestrian access and servicing, car parking, landscaping, a substation, new pedestrian infrastructure and modifications to existing vehicular and pedestrian access

ADDRESS

Former Weetwood Police Station

300 Otley Road

Weetwood

Leeds

LS16 6RG





Location Plan
1:1250

Copyright Halliday Clark Limited

This document is the property of Halliday Clark Limited and is intended for the use of the client only. It is not to be distributed, copied, or used for any other purpose without the prior written consent of Halliday Clark Limited. The information contained herein is for general information only and does not constitute an offer of any financial product or service. It is not intended to be relied upon as a basis for any investment decision. The information is provided on the basis that the client has read and understood the information and has accepted it. The client acknowledges that it is responsible for its own actions and decisions based on the information provided. The information is provided as a service to the client and is not intended to be a substitute for professional advice. The client should seek professional advice if it is unsure of the information provided. The information is provided on the basis that the client has read and understood the information and has accepted it. The client acknowledges that it is responsible for its own actions and decisions based on the information provided. The information is provided as a service to the client and is not intended to be a substitute for professional advice. The client should seek professional advice if it is unsure of the information provided.

NOTES

1. The site is shown in red on this plan.

2. The site is shown in red on this plan.

3. The site is shown in red on this plan.

4. The site is shown in red on this plan.

5. The site is shown in red on this plan.

6. The site is shown in red on this plan.

7. The site is shown in red on this plan.

8. The site is shown in red on this plan.

9. The site is shown in red on this plan.

10. The site is shown in red on this plan.

11. The site is shown in red on this plan.

12. The site is shown in red on this plan.

13. The site is shown in red on this plan.

14. The site is shown in red on this plan.

15. The site is shown in red on this plan.

16. The site is shown in red on this plan.

17. The site is shown in red on this plan.

18. The site is shown in red on this plan.

19. The site is shown in red on this plan.

20. The site is shown in red on this plan.

21. The site is shown in red on this plan.

22. The site is shown in red on this plan.

23. The site is shown in red on this plan.

24. The site is shown in red on this plan.

25. The site is shown in red on this plan.

26. The site is shown in red on this plan.

27. The site is shown in red on this plan.

28. The site is shown in red on this plan.

29. The site is shown in red on this plan.

30. The site is shown in red on this plan.

31. The site is shown in red on this plan.

32. The site is shown in red on this plan.

33. The site is shown in red on this plan.

34. The site is shown in red on this plan.









































Access & Service Strategy
1:500



Copyright Holliday Clark Limited
 The details shown on this drawing are copyright and the drawing is the exclusive property of Holliday Clark Limited. No part, copy or extract of this drawing may be made without the permission and in writing of Holliday Clark Limited. Any use of this drawing for any purpose other than that for which it was prepared is prohibited. Any reproduction, copying, reuse or alteration of this drawing without the written consent of Holliday Clark Limited is prohibited.
 Do not scale from this drawing.
 All work shall be in accordance with British Standards (BS) Standards, Health & Safety at Work Act & all other relevant regulations & the Law.
 Any amendments should be brought to the attention of Holliday Clark Limited.

NOTES

1. Drawing is based on survey information provided, we have given (assumed) values. Any discrepancies to be reported to the contractor.



- Key:**
- Service Access Route
 - Fire Access Route
 - Disabled Access Route
 - Disabled Drop Off/Pick Up Access
 - Disabled Drop Off/Pick Up Access Reserved for Access and associated in residential parking systems
 - Site Area

Notes:
 Where external access drop off/pick up access is not provided, please refer to the site plan with suitable width for other external access.

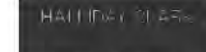
NO. OF SHEETS	10
SHEET NO.	10
DATE	20/01/2024

FOR INFORMATION

FORMER WESTWOOD POLICE STATION
 500 OTLEY ROAD
 WESTWOOD
 LS16 6RD
 FOR
 WESTWOOD DEVELOPMENTS LTD.

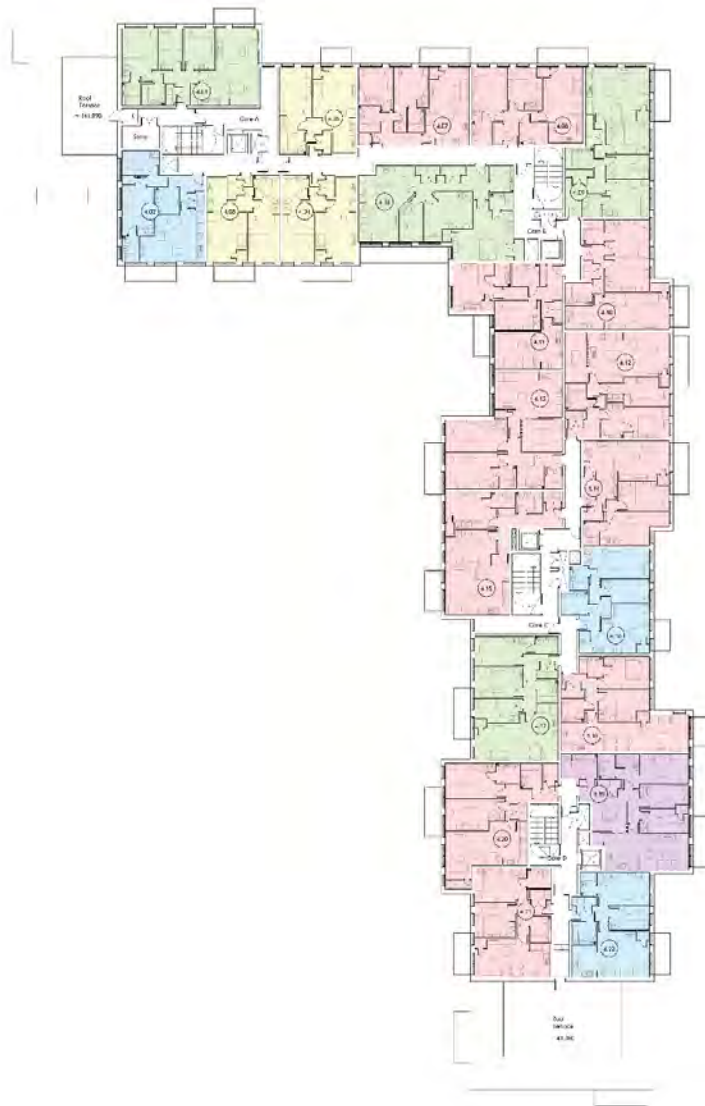
ACCESS & SERVICE STRATEGY

Scale: 1:500



Holliday Clark Limited
 1, Leazes Road, Leeds LS2 9JL
 Tel: 0113 275 1234
 Fax: 0113 275 1235
 Email: info@holliday-clark.co.uk
 www.holliday-clark.co.uk

Dwg. No. 563.20(04)100 Rev. 01



Proposed GA Level 4
1:200

Copyright Halliday Clark Limited

The details shown on this drawing are intended to be the starting point for the design process. Any changes to the design of the building or the details shown on this drawing should be agreed with the client. The client is responsible for ensuring that the design complies with all applicable laws and regulations. The client is also responsible for ensuring that the design is suitable for the intended use of the building. The client is also responsible for ensuring that the design is suitable for the intended use of the building. The client is also responsible for ensuring that the design is suitable for the intended use of the building.

NOTES

Drawing based on survey information provided by client. Any discrepancies to be resolved by the client.

Scale 1:200

Schedule of Accommodation

- Plan - Apartment
- Plan - Club (Bicycle, 200 M2)
- Plan - Club (Bicycle, 200 M2)
- Plan - Club (Bicycle, 200 M2)
- Plan - Club (Bicycle, 200 M2)

TOTAL: 100 Apartments
TOTAL GFA: 10,000 sqm

Parking

Allocated Space	7
Required (NCA)	133
Total Spaces	140

Cyclic

Bedroom	40
Living	40
Kitchen	5
Bathroom	5

14-06-2022	100	100
14-06-2022	100	100
14-06-2022	100	100
14-06-2022	100	100
14-06-2022	100	100
14-06-2022	100	100
14-06-2022	100	100
14-06-2022	100	100
14-06-2022	100	100

FOR COMMENT

Former: Weetwood Police Station
300 Osley Road
Weetwood
LS16 6RG
For: Weetwood Developments Ltd

Level 4 Plan
Scale: 1:200 @ A1

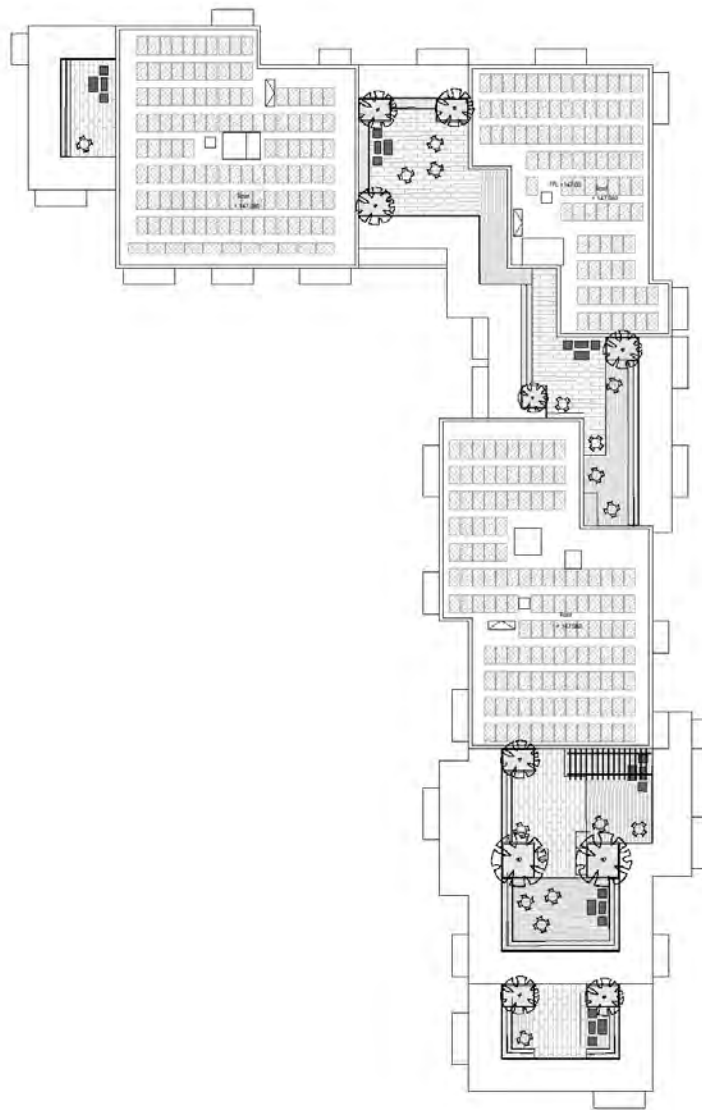


100, The Quadrant, Leeds, LS1 1JQ
100, The Quadrant, Leeds, LS1 1JQ
100, The Quadrant, Leeds, LS1 1JQ

Dwg No. 565 20 (20)104 Rev. 04







Proposed Roof Plan
1:200

Copyright Halcrow Clark Limited

The entire content on this drawing is confidential and the drawing is the intellectual property of Halcrow Clark Limited. All use, reuse or disclosure of the drawing may be made without our permission and it is to be returned to Halcrow Clark Limited when requested. Halcrow Clark Limited does not accept responsibility for the use of this drawing for any purpose other than that which it was intended. All dimensions are in millimetres unless stated otherwise. All dimensions should be verified on site prior to commencement of work.

Do not scale from this drawing.

All work must be in accordance with British Standards, BS: Structural, Strength & Safety or work to a UK other relevant requirement & Best Pract.

Any discrepancies should be brought to the attention of Halcrow Clark Limited.

NOTES

1. Drawing based on survey information provided by third party measured survey. Any discrepancies to be reported to the architect.

Scale 1:200

0 2000 4000 6000 8000

05-19-2022	Rev	1/04
Upstream office. Roof geometry updated with Limestone Architects information.		
02-08-2022	Rev	1/04
Rev. updated to match revised CAJ plans.		
01-11-2022	Rev	1/04
Rev. Structural proposed.		
14-05-2022	Rev	1/04
REVISIONS		
05/10/21	DATE	Drawn Check

PLANNING ISSUE

Former Wetherwood Police Station
300 Otley Road
Wetherwood
LS16 6BG

For
Wetherwood Developments Ltd

Roof Plan

Scale 1:200 @ A1

HALCROW CLARK

Halcrow Clark Limited | 01145 664 123
1 Lower Brimley Road | wetherwood@halcrowclark.co.uk
Leeds LS2 9JL | www.halcrowclark.co.uk

Dwg No. 565.20(20)106 Rev. 05



Elevation 01
1:200



Elevation 02
1:200

Copyright Halliday Clark Limited

The details shown on this drawing are preliminary and the drawings are the sole property of Halliday Clark Limited. No use, copy or distribution of the drawing may be made without our permission and it is to be returned to Halliday Clark Limited when required.

Halliday Clark Limited takes no responsibility for the use of this drawing for any purpose other than that which it was intended.

All dimensions are in millimetres unless stated otherwise.

All drawings are subject to variation on site under the commandment of clients.

Do not scale from this drawing.

All work must be in accordance with British Standards, BS 1191:2009, Health & Safety of work and all other relevant regulations & Site Law.

Any discrepancies should be brought to the attention of Halliday Clark Limited.

NOTES

Drawing based on survey information provided by third party. Reasoned surveys. Any discrepancies to be reported to the architect.

Scale 1:200

0 2000 4000 6000 8000 10000mm

Key to Layout

Materials Key:

- 10: Portland cement concrete external wall panels
- 11: Portland cement concrete internal walls & columns
- 12: Brick (red) masonry
- 13: Glass (clear) windows
- 14: Glass (tinted) windows
- 15: Brick (red) masonry
- 16: Brick (red) masonry
- 17: Brick (red) masonry
- 18: Brick (red) masonry
- 19: Brick (red) masonry

03 14 10 22	01
04 14 10 27	02
05 14 10 31	03
06 14 10 35	04
07 14 10 39	05
08 14 10 43	06
09 14 10 47	07
10 14 10 51	08

PLANNING ISSUE

Former Westwood Police Station
300 Otley Road
Westwood
HD5 2DQ

For
Westwood Developments Ltd

Elevations 01

Scale 1:200BA1

HALLIDAY CLARK ARCHITECTS

Halliday Clark Limited
1 Lower Wharfedale Road
Leeds LS1 3PL

0113 244 112
info@hallidayclark.co.uk
www.hallidayclark.co.uk

Dwg No. 365.20 (2) 201 Rev. 02



Elevation 05
1:200



Elevation 06
1:200

Coverright Halliday Clark Limited

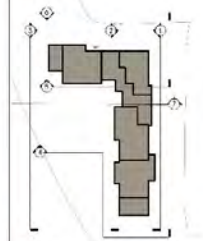
This is a preliminary drawing and the drawing is the property of Halliday Clark Limited. No part of this drawing may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Halliday Clark Limited. The user of this drawing shall be responsible for the use of this drawing and shall indemnify and hold Halliday Clark Limited harmless from and against all claims, damages, losses and expenses, including reasonable attorneys' fees, that may be incurred by the user of this drawing. The user of this drawing shall also indemnify and hold Halliday Clark Limited harmless from and against all claims, damages, losses and expenses, including reasonable attorneys' fees, that may be incurred by the user of this drawing.

NOTES

Drawings based on survey information provided by third party. Measure as shown. Any discrepancies to be reported to the architect.

Scale 1:200

Key to Layout



Material Key:

- 01 - Red brick (smooth finish)
- 02 - Red brick (smooth finish) - painted white
- 03 - Grey concrete
- 04 - Grey concrete
- 05 - Red brick (smooth finish) - painted white
- 06 - Red brick (smooth finish)
- 07 - Red brick (smooth finish)
- 08 - Red brick (smooth finish)
- 09 - Red brick (smooth finish)

01 08/01/2023	01
02 08/01/2023	02
03 11/11/2023	03
04 14/11/2023	04
05 14/11/2023	05
06 14/11/2023	06
07 14/11/2023	07
08 14/11/2023	08
09 14/11/2023	09

PLANNING ISSUE

Former: Woodwood Police Station
300 Otley Road
Woodwood
LS16 6BG

For: Wauwatwood Developments Ltd

Elevation 05

Scale 1:200/A1

HALLIDAY CLARK ARCHITECTS

Halliday Clark Limited
100 Woodhouse Lane
Leeds LS2 1PL

Dwg No. 363.20(03)03 Rev. 05

Copyright: Halliday Clark Limited

The details shown in this drawing are confidential and the drawings are the property of Halliday Clark Limited. No one, other than those authorised by Halliday Clark Limited, may use, copy, reproduce or otherwise disseminate the drawings without the prior written consent of Halliday Clark Limited. Halliday Clark Limited shall not be held responsible for the use of this drawing for any purpose other than that which it was intended for. All dimensions are in millimetres unless otherwise stated. All measurements should be verified on site prior to construction of works.

Do not scale from this drawing.

All works shall be in accordance with British Standards, EC Directives, Building Regulations and all other relevant regulations & bye laws.

The construction of works shall be subject to the approval of Halliday Clark Limited.

NOTES

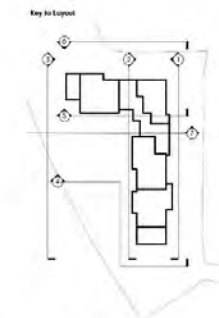
Drawings based on survey information provided by third party. Independent surveys. Any discrepancies to be reported to the architect.

Scale 1:200

0 2000 4000 6000 8000 10000mm



Elevation 07
1:200



- Materials Key:**
- 1: Refurbished brickwork (colored multi-glaze)
 - 2: New brickwork (colored multi-glaze)
 - 3: Red brickwork
 - 4: Smooth concrete
 - 5: Smooth concrete (paved)
 - 6: Brick (Red)
 - 7: Paving (granite)

20.10.22	REVISION	16
20.10.22	REVISION	15
20.10.22	REVISION	14
20.10.22	REVISION	13
20.10.22	REVISION	12
20.10.22	REVISION	11
20.10.22	REVISION	10
20.10.22	REVISION	9
20.10.22	REVISION	8
20.10.22	REVISION	7
20.10.22	REVISION	6
20.10.22	REVISION	5
20.10.22	REVISION	4
20.10.22	REVISION	3
20.10.22	REVISION	2
20.10.22	REVISION	1

FOR COMMENT

Former Westwood Police Station
300 Cibley Road
Westwood
LS16 4BG

For:
Westwood Developments Ltd

Elevations 04
Scale 1:200@A1

HALLIDAY CLARK ARCHITECTS

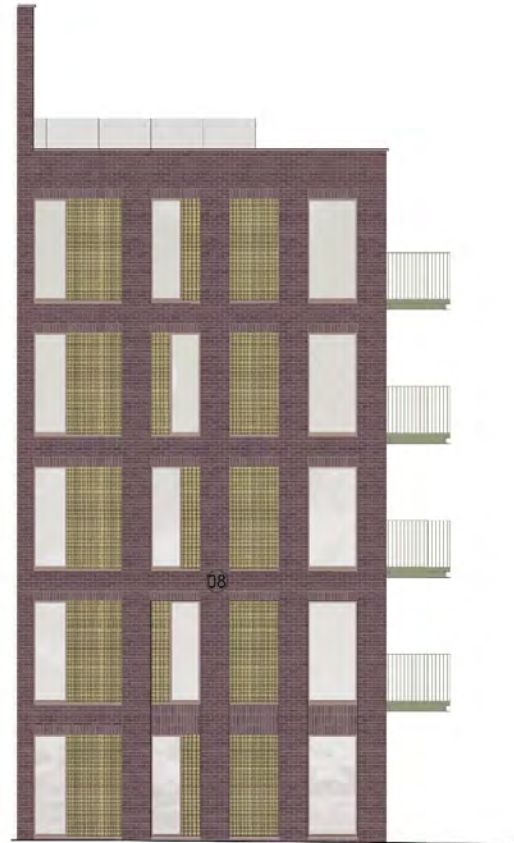
Halliday Clark Limited
Leeds Business Park
Leeds LS11 3BA

0113 275 1234
0113 275 1235
0113 275 1236

Drwg No: 305.20.20.04 Rev: 02



Elevation Materials
1:50



Copyright Halliday Clark Limited

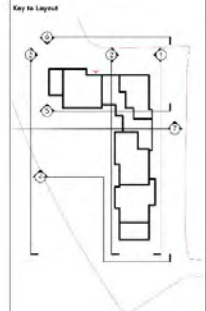
The details shown on this drawing are confidential and the drawing is the exclusive property of Halliday Clark Limited. No use, copy or distribution of the drawing may be made without our permission and it is to be returned to Halliday Clark Limited when required.
Halliday Clark Limited bears no responsibility for the use of this drawing for any purpose other than for that which it was prepared.
All dimensions shall be verified on site prior to commencement of works.
Do not scale for this drawing.
All works must be in accordance with British Standards, BS Standards, Health & Safety at Work act & all other relevant regulations & Site Laws.
Any observations should be brought to the attention of nearest Clerk Limited.

NOTES

Drawings based on survey information provided by third party, no on-site survey. Any discrepancies to be reported to the architect.

Scale: 1:50
0 100 200 300 400mm

- Materials Key:**
- 01 - Portland Cement concrete external wall finish
 - 02 - Reddish brickwork (to match existing) external masonry
 - 03 - Brick (London Stock)
 - 04 - Clipped lead external
 - 05 - Bronze colored powder coated aluminum cladding
 - 06 - Brick (Long Brown)
 - 07 - Painted light brown brick
 - 08 - Brick (Purple/Grey)



03 14/12/22	IPS
04 04/12/22	IPS
05 04/12/22	IPS
06 04/12/22	IPS
07 04/12/22	IPS
08 04/12/22	DEWB, CHG

PLANNING ISSUE

Former Wakefield Police Station
300 Otley Road
Wakefield
WF1 4YD
For Wakefield Developments Ltd

Elevation Materials
Scale: 1:50 @ A1

HALLIDAY CLARK ARCHITECTS

Halliday Clark Limited
1 James Street, Leeds
Leeds LS1 2JQ
0113 251 1111
info@hallidayclark.co.uk
hallidayclark.co.uk

Dwg No. 365.20(2)1001 Rev. 02



Brick

Flint pointed brick will be the primary exterior used throughout the building.



Flint pointed metal cladding

This element will dress up the facade and will be used at entrance openings.



Flint pointed metal cladding

This design will provide a simple and aesthetic finish for the building. The colour of the steel will be matched to the metal cladding and aluminium frames.



Flint pointed

Flint pointed metal frames will be used on the windows and doors of the building. The colour will be softly against the brick and set in a similar colour to the stone/brick cladding.

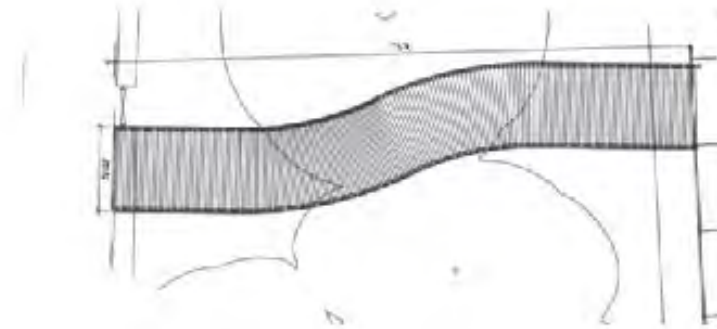
4.1.7 Pedestrian Bridge

As part of the landscaping proposals a new pedestrian bridge is proposed from Olkby Road linking into the Pubhouse.

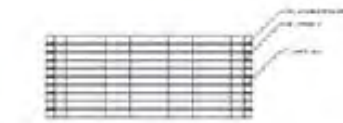
The bridge is designed to 'seam' between the existing trees and have a minimal impact on the root protection area.

This bridge will also act as a speed control measure to cyclists using the bridge to visit the site.

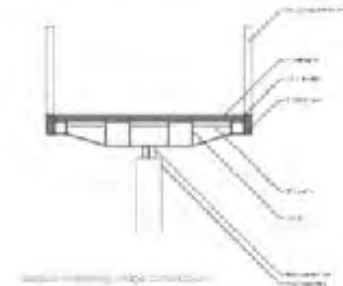
The balustrade will be formed from brass fins to match the shade panels on the building and LED lighting between these fins will ensure the route is well lit in the evening.



BRASS FIN BRIDGE DECK



LED LIGHTING BRIDGE DECK



BRASS FIN BRIDGE CONNECTION



BRASS FIN BRIDGE ELEVATION









SUGGESTED PLAY PROVISION



PLAY IMAGES FOR DISCUSSION

IMAGE BOARD
WEETWOOD RESIDENTIAL DEVELOPMENT

SMEEDEN FOREMAN
Landscape Architecture • Ecology • Arboriculture





ASSESSMENT PHOTO

















APPLICATION: 23/03717/FU

PROPOSAL

Change of use of former childrens home to form 30 dwellings; alterations including part demolition, part two storey part three storey extensions, EV car parking, cycle parking, junction and access alterations and landscaping works

ADDRESS

St Margarets Home

29 Moor Road

Headingley

Leeds

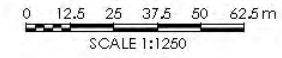
LS6 4BG





Note:
Assumed site boundary and site constraints subject to confirmation.

All legal easements and extent of existing underground services locations are subject to confirmation.



P1	Issue to pre-application	01.12.22	CB	CB
	Revision	Date	By	CHK

All drawings to be submitted to the Local Planning Authority for consideration. All drawings and specifications shall be read in conjunction with the Health and Safety Plan. All contractors shall be reported to the appointed Principal Designer.

IQW Developments Limited
Residential Development
29-31 Moor Road, Headingley, Leeds

Sheet Name: Location Plan
Purpose of issue: Information Status: -
Date: 15/09/2022 Checked by: CB
Drawn by: AT Scale @ A3: 1:1250

Project No: 8731 Revision: P1
Drawing No: 8731-BOW-A1-01-DR-A-0004



© 2022 IQW Developments Limited. All rights reserved. This drawing is the copyright of Bowman Riley Architects Limited. P. 8731 - Moor Road, Headingley, Leeds. Plan 11/16/23-0004 Location Plan - New Topo.dwg





































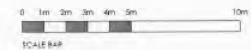


SOUTH ELEVATION AS PROPOSED

- 1 Aluminium polyester powder coated windows in dark grey
- 2 Altkaz coursed stone
- 3 Aluminium coping trim
- 4 Flat roof/canopy in zinc (dark grey)
- 5 Square stone columns as colonnade (B1) or Circular stone columns as colonnade (B2)
- 6 Curtain walling/glassed screen with aluminium polyester powder coated frames and tinted glass to minimise solar gain



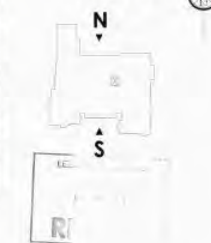
NORTH ELEVATION AS PROPOSED



- Do not scale from this drawing. Only A3 print dimensions are to be taken off the drawing.
 - All dimensions are to be called on site and P13 must be followed if any discrepancies.
 - This drawing is copyright and for use on this project only.
 - The drawing is to be used solely for the information filed. For other information refer to the specification, cross-referenced drawings and the Health and Safety Plan.
- Contractor shall not operate until unless the principal contractor has provided through and accurate information of all health and safety aspects relating to the design identified on this drawing including the nature of:
- Designation of construction site boundaries.
 - Method statements.
 - Permit to work.
 - Pre construction information.

14/00905 B

Key Plan



- G Amendments following Planning Committee Meeting 05/02/15
- F Amend schema following discussion with Planning Officer 04/02/15
- E Granted amendments 17/11/14
- D Amended to reflect comments at latest meeting with Planning Officer 13/11/14
- C Glazed strip amended on South Elevation following comments from Planning 23/09/14
- B Amended to reflect comments of meeting 12/08/14 with Planning Officer
- A Amendments following officers comments 20/05/14

Rev	description	date
<input type="checkbox"/>	preliminary	<input type="checkbox"/> comment
<input type="checkbox"/>	planning	<input type="checkbox"/> tender
<input type="checkbox"/>		<input type="checkbox"/> construction
<input type="checkbox"/>		<input type="checkbox"/> record

pt Philip Thompson Associates
 29th Floor, Aulds Lane
 Selsby LS22 7FD
 (01577)88466

CIAT
 Chartered Institution of Architectural Technicians

Project
 29 & 31 Moor Road
 Headingley
 Leeds
 LS6 4BG

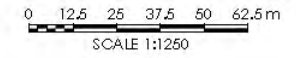
Drawing
 NORTH AND SOUTH ELEVATIONS
 AS PROPOSED

Drawn by	Checked by	Date	Scale @ A1
MPT		OCT 14	1:100
Project Number	Drawing Number	Revision	
1239	P4	G	



Note:
Assumed site boundary and site constraints subject to confirmation.

All legal easements and extent of existing underground services locations are subject to confirmation.



Revision	Date	By	CHK
P1	11.12.24	KL	

All drawings to be verified on site, and the Architect to be held of any discrepancy. All drawings and specifications should be read in conjunction with the Health and Safety Plan, all contractors should be reported to the appointed Principal Designer.

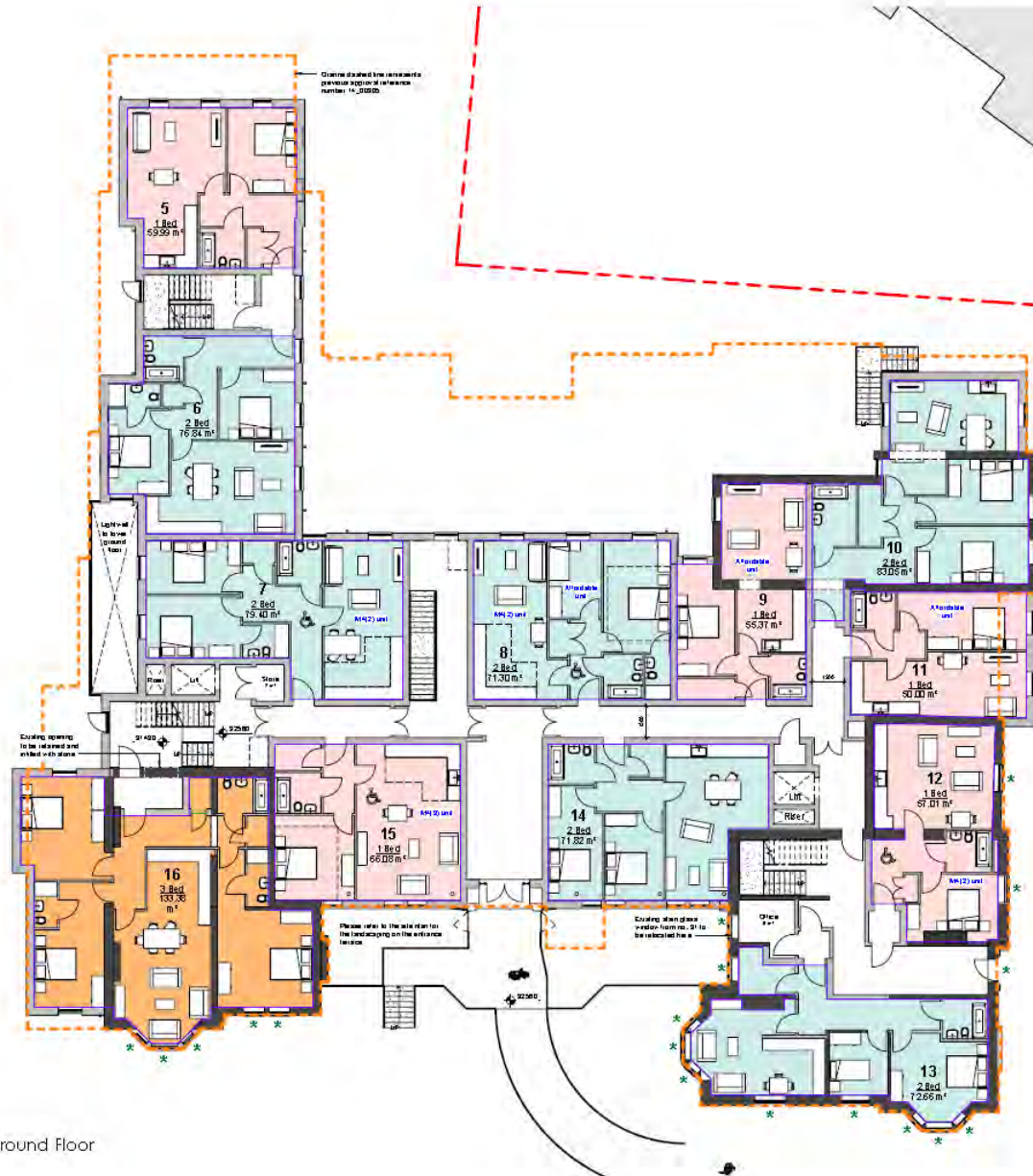
IQW Developments Limited
Residential Development
29-31 Moor Road, Headingley, Leeds

Sheet Name: Proposed Block Plan
Purpose of issue: Information
Date: 11/12/24
Drawn by: KL
Scale @ A3: 1:1250

Project No: 8731
Drawing No: 8731-BOW-A1-01-DR-A-0010



All drawings to be verified on site, and the Architect to be held of any discrepancy. All drawings and specifications should be read in conjunction with the Health and Safety Plan, all contractors should be reported to the appointed Principal Designer. © Bowman Riley Ltd. 2024. All rights reserved.



Proposed Upper Ground Floor
1:100

Upper Ground Area Schedule

Unit	Room	Area
5	1 Bed	59.99 m ²
9	1 Bed	55.37 m ²
11	1 Bed	50.00 m ²
12	1 Bed	57.01 m ²
15	1 Bed	66.05 m ²
1 Bed:5		
6	2 Bed	76.84 m ²
7	2 Bed	79.40 m ²
8	2 Bed	71.30 m ²
10	2 Bed	63.05 m ²
13	2 Bed	72.66 m ²
14	2 Bed	71.82 m ²
2 Bed:6		
16	3 Bed	133.36 m ²
3 Bed:1		
Grand total 12		

Notes

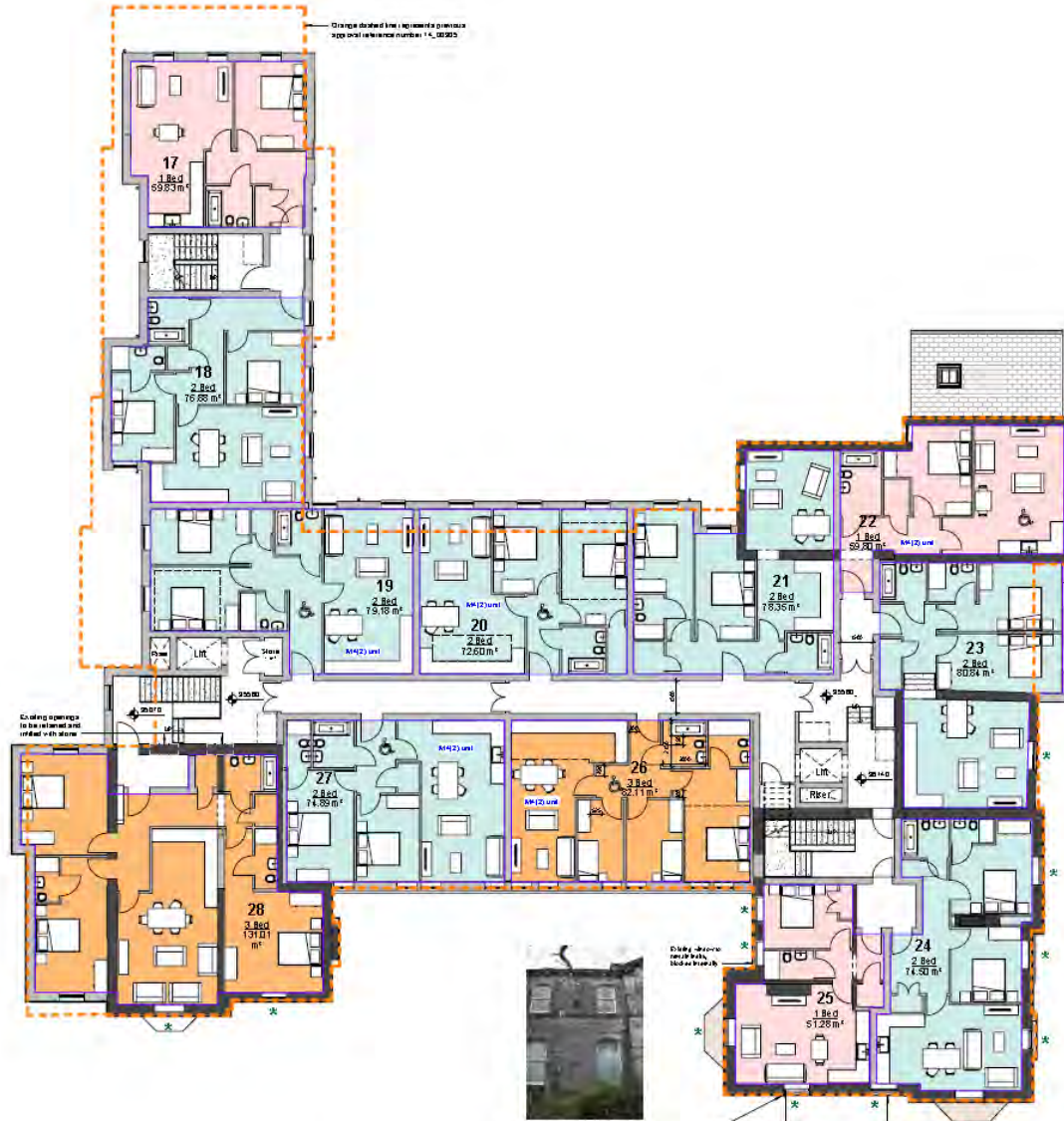
- * Existing windows and doors to be repaired where possible, or to be like replacement to be installed if more than 50% beyond repair - this is to be agreed by condition.
- All new windows will have a minimum reveal of 120mm.

P10: New zone	11020*	M
P11: New zone	27660*	M
P12: New zone	62600*	M
P13: New zone	62600*	M
P14: New zone	62600*	M
P15: New zone	62600*	M
P16: New zone	62600*	M
P17: New zone	62600*	M
P18: New zone	62600*	M
P19: New zone	62600*	M
P20: New zone	62600*	M
P21: New zone	62600*	M
P22: New zone	62600*	M
P23: New zone	62600*	M
P24: New zone	62600*	M
P25: New zone	62600*	M
P26: New zone	62600*	M
P27: New zone	62600*	M
P28: New zone	62600*	M
P29: New zone	62600*	M
P30: New zone	62600*	M
P31: New zone	62600*	M
P32: New zone	62600*	M
P33: New zone	62600*	M
P34: New zone	62600*	M
P35: New zone	62600*	M
P36: New zone	62600*	M
P37: New zone	62600*	M
P38: New zone	62600*	M
P39: New zone	62600*	M
P40: New zone	62600*	M
P41: New zone	62600*	M
P42: New zone	62600*	M
P43: New zone	62600*	M
P44: New zone	62600*	M
P45: New zone	62600*	M
P46: New zone	62600*	M
P47: New zone	62600*	M
P48: New zone	62600*	M
P49: New zone	62600*	M
P50: New zone	62600*	M
P51: New zone	62600*	M
P52: New zone	62600*	M
P53: New zone	62600*	M
P54: New zone	62600*	M
P55: New zone	62600*	M
P56: New zone	62600*	M
P57: New zone	62600*	M
P58: New zone	62600*	M
P59: New zone	62600*	M
P60: New zone	62600*	M
P61: New zone	62600*	M
P62: New zone	62600*	M
P63: New zone	62600*	M
P64: New zone	62600*	M
P65: New zone	62600*	M
P66: New zone	62600*	M
P67: New zone	62600*	M
P68: New zone	62600*	M
P69: New zone	62600*	M
P70: New zone	62600*	M
P71: New zone	62600*	M
P72: New zone	62600*	M
P73: New zone	62600*	M
P74: New zone	62600*	M
P75: New zone	62600*	M
P76: New zone	62600*	M
P77: New zone	62600*	M
P78: New zone	62600*	M
P79: New zone	62600*	M
P80: New zone	62600*	M
P81: New zone	62600*	M
P82: New zone	62600*	M
P83: New zone	62600*	M
P84: New zone	62600*	M
P85: New zone	62600*	M
P86: New zone	62600*	M
P87: New zone	62600*	M
P88: New zone	62600*	M
P89: New zone	62600*	M
P90: New zone	62600*	M
P91: New zone	62600*	M
P92: New zone	62600*	M
P93: New zone	62600*	M
P94: New zone	62600*	M
P95: New zone	62600*	M
P96: New zone	62600*	M
P97: New zone	62600*	M
P98: New zone	62600*	M
P99: New zone	62600*	M
P100: New zone	62600*	M

08: All dimensions to be verified on site, and the architect's drawings of any discrepancies, shall be the responsibility of the contractor. All dimensions shall be confirmed by the contractor and the architect shall be responsible for the accuracy of the drawings.

IQW Developments Limited
Proposed Residential Development
29-31 Moor Road, Headingley, Leeds
Sheet Name: Proposed Upper Ground Floor
Project Name: PR in 1611
Date: 20/03/2022
Checked by: C.B. [Signature]
Drawn by: AT
Scale: 1:100
Project No: 8731
Revision: P16
Drawing No: 8731-BOW-ZZ00-DR-A-0002





Proposed First Floor
1 : 100

Apartment Type

- 1 Bed
- 2 Bed
- 3 Bed

First Floor Area Schedule

Number	Area	Size
17	1 Bed	60 m²
22	1 Bed	60 m²
25	1 Bed	51 m²

1 Bed: 3

18	2 Bed	77 m²
19	2 Bed	79 m²
20	2 Bed	73 m²
21	2 Bed	78 m²
23	2 Bed	81 m²
24	2 Bed	75 m²
27	2 Bed	75 m²

2 Bed: 7

26	3 Bed	82 m²
28	3 Bed	131 m²

3 Bed: 2

Grand total: 12

Notes

- * Cooling systems and doors to be specified where possible, or a W.A.T.S. replacement to be installed if more than 50% beyond scope - this to be agreed by specification.
- ** All new windows will have a maximum reveal of 100mm.

P10	Roof	111.00	M
P11	Roof	75.00	M
P12	Roof	146.00	M
P13	Roof	63.00	M
P14	Roof	1.00	M
P15	Roof	1.00	M
P16	Roof	1.00	M
P17	Roof	1.00	M
P18	Roof	1.00	M
P19	Roof	1.00	M
P20	Roof	1.00	M
P21	Roof	1.00	M
P22	Roof	1.00	M
P23	Roof	1.00	M
P24	Roof	1.00	M
P25	Roof	1.00	M
P26	Roof	1.00	M
P27	Roof	1.00	M
P28	Roof	1.00	M
P29	Roof	1.00	M
P30	Roof	1.00	M
P31	Roof	1.00	M
P32	Roof	1.00	M
P33	Roof	1.00	M
P34	Roof	1.00	M
P35	Roof	1.00	M
P36	Roof	1.00	M
P37	Roof	1.00	M
P38	Roof	1.00	M
P39	Roof	1.00	M
P40	Roof	1.00	M
P41	Roof	1.00	M
P42	Roof	1.00	M
P43	Roof	1.00	M
P44	Roof	1.00	M
P45	Roof	1.00	M
P46	Roof	1.00	M
P47	Roof	1.00	M
P48	Roof	1.00	M
P49	Roof	1.00	M
P50	Roof	1.00	M
P51	Roof	1.00	M
P52	Roof	1.00	M
P53	Roof	1.00	M
P54	Roof	1.00	M
P55	Roof	1.00	M
P56	Roof	1.00	M
P57	Roof	1.00	M
P58	Roof	1.00	M
P59	Roof	1.00	M
P60	Roof	1.00	M
P61	Roof	1.00	M
P62	Roof	1.00	M
P63	Roof	1.00	M
P64	Roof	1.00	M
P65	Roof	1.00	M
P66	Roof	1.00	M
P67	Roof	1.00	M
P68	Roof	1.00	M
P69	Roof	1.00	M
P70	Roof	1.00	M
P71	Roof	1.00	M
P72	Roof	1.00	M
P73	Roof	1.00	M
P74	Roof	1.00	M
P75	Roof	1.00	M
P76	Roof	1.00	M
P77	Roof	1.00	M
P78	Roof	1.00	M
P79	Roof	1.00	M
P80	Roof	1.00	M
P81	Roof	1.00	M
P82	Roof	1.00	M
P83	Roof	1.00	M
P84	Roof	1.00	M
P85	Roof	1.00	M
P86	Roof	1.00	M
P87	Roof	1.00	M
P88	Roof	1.00	M
P89	Roof	1.00	M
P90	Roof	1.00	M
P91	Roof	1.00	M
P92	Roof	1.00	M
P93	Roof	1.00	M
P94	Roof	1.00	M
P95	Roof	1.00	M
P96	Roof	1.00	M
P97	Roof	1.00	M
P98	Roof	1.00	M
P99	Roof	1.00	M
P100	Roof	1.00	M

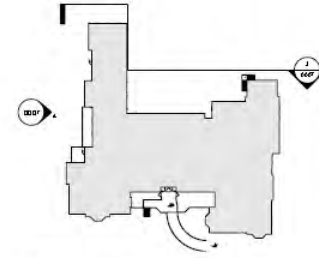
© 2008 BOWMAN RILEY. All rights reserved. This document is the property of Bowman Riley and should not be reproduced without the prior written consent of Bowman Riley.

IQWi Developments Limited
 Proposed Residential Development
 29-31 Moor Road, Headingley, Leeds
 Sheet Name: Proposed First Floor
 Purpose or issue: P10 - 1st Floor
 Date: 20/08/2022
 Checked by: C.B.
 Drawn by: AT
 Scale: 1:100
 Project No: 8731
 Revision: P10
 Drawing No: 8731-BOW-ZZ01-DR-A-003





3 - Proposed North Elevation (Cranked Section)
1:100



Key Plan - Sheet 2
1:500

MATERIAL KEY

- 1. Dark Grey Roof Tiles From Durock
- 2. Red Brick From Durock
- 3. Light Grey Brick From Durock
- 4. Sandstone
- 5. Sandstone
- 6. Sandstone
- 7. Sandstone
- 8. Sandstone

KEY

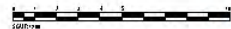
- A. Not Available space



4 - Proposed Western Elevation
1:100

Item	Description	Quantity	Unit	Material
P1	Dark Grey Roof Tiles From Durock	27600	M ²	M
P2	Red Brick From Durock	16000	M ²	M
P3	Light Grey Brick From Durock	8200	M ²	M
P4	Sandstone	20000	M ²	M
P5	Sandstone	10000	M ²	M
P6	Sandstone	10000	M ²	M
P7	Sandstone	10000	M ²	M
P8	Sandstone	10000	M ²	M
P9	Sandstone	10000	M ²	M
P10	Sandstone	10000	M ²	M
P11	Sandstone	10000	M ²	M
P12	Sandstone	10000	M ²	M
P13	Sandstone	10000	M ²	M
P14	Sandstone	10000	M ²	M
P15	Sandstone	10000	M ²	M
P16	Sandstone	10000	M ²	M
P17	Sandstone	10000	M ²	M
P18	Sandstone	10000	M ²	M
P19	Sandstone	10000	M ²	M
P20	Sandstone	10000	M ²	M
P21	Sandstone	10000	M ²	M
P22	Sandstone	10000	M ²	M
P23	Sandstone	10000	M ²	M
P24	Sandstone	10000	M ²	M
P25	Sandstone	10000	M ²	M
P26	Sandstone	10000	M ²	M
P27	Sandstone	10000	M ²	M
P28	Sandstone	10000	M ²	M
P29	Sandstone	10000	M ²	M
P30	Sandstone	10000	M ²	M
P31	Sandstone	10000	M ²	M
P32	Sandstone	10000	M ²	M
P33	Sandstone	10000	M ²	M
P34	Sandstone	10000	M ²	M
P35	Sandstone	10000	M ²	M
P36	Sandstone	10000	M ²	M
P37	Sandstone	10000	M ²	M
P38	Sandstone	10000	M ²	M
P39	Sandstone	10000	M ²	M
P40	Sandstone	10000	M ²	M
P41	Sandstone	10000	M ²	M
P42	Sandstone	10000	M ²	M
P43	Sandstone	10000	M ²	M
P44	Sandstone	10000	M ²	M
P45	Sandstone	10000	M ²	M
P46	Sandstone	10000	M ²	M
P47	Sandstone	10000	M ²	M
P48	Sandstone	10000	M ²	M
P49	Sandstone	10000	M ²	M
P50	Sandstone	10000	M ²	M
P51	Sandstone	10000	M ²	M
P52	Sandstone	10000	M ²	M
P53	Sandstone	10000	M ²	M
P54	Sandstone	10000	M ²	M
P55	Sandstone	10000	M ²	M
P56	Sandstone	10000	M ²	M
P57	Sandstone	10000	M ²	M
P58	Sandstone	10000	M ²	M
P59	Sandstone	10000	M ²	M
P60	Sandstone	10000	M ²	M
P61	Sandstone	10000	M ²	M
P62	Sandstone	10000	M ²	M
P63	Sandstone	10000	M ²	M
P64	Sandstone	10000	M ²	M
P65	Sandstone	10000	M ²	M
P66	Sandstone	10000	M ²	M
P67	Sandstone	10000	M ²	M
P68	Sandstone	10000	M ²	M
P69	Sandstone	10000	M ²	M
P70	Sandstone	10000	M ²	M
P71	Sandstone	10000	M ²	M
P72	Sandstone	10000	M ²	M
P73	Sandstone	10000	M ²	M
P74	Sandstone	10000	M ²	M
P75	Sandstone	10000	M ²	M
P76	Sandstone	10000	M ²	M
P77	Sandstone	10000	M ²	M
P78	Sandstone	10000	M ²	M
P79	Sandstone	10000	M ²	M
P80	Sandstone	10000	M ²	M
P81	Sandstone	10000	M ²	M
P82	Sandstone	10000	M ²	M
P83	Sandstone	10000	M ²	M
P84	Sandstone	10000	M ²	M
P85	Sandstone	10000	M ²	M
P86	Sandstone	10000	M ²	M
P87	Sandstone	10000	M ²	M
P88	Sandstone	10000	M ²	M
P89	Sandstone	10000	M ²	M
P90	Sandstone	10000	M ²	M
P91	Sandstone	10000	M ²	M
P92	Sandstone	10000	M ²	M
P93	Sandstone	10000	M ²	M
P94	Sandstone	10000	M ²	M
P95	Sandstone	10000	M ²	M
P96	Sandstone	10000	M ²	M
P97	Sandstone	10000	M ²	M
P98	Sandstone	10000	M ²	M
P99	Sandstone	10000	M ²	M
P100	Sandstone	10000	M ²	M

IQW Developments Limited
 Proposed Residential Development
 29-31 Moor Road, Headingley, Leeds
 Sheet Name: Proposed Elevation Sheet 2
 Project No: 8731
 Drawing No: 8731-BOW-ZZ:XX-DR-A-0007

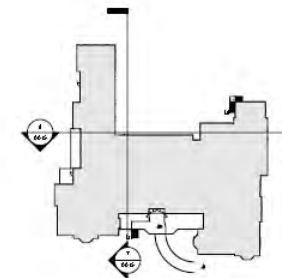




7 - Proposed Eastern Sectional Elevation
1 : 100



8 - Proposed Northern Elevation
1 : 100



Key Plan - Sheet 4
1 : 500

MATERIAL KEY

1. Brickwork
2. Reddish Sandstone Dressing
3. Sandstone
4. Sandstone
5. Sandstone
6. Sandstone
7. Sandstone
8. Sandstone

KEY

- A Non-Structural

P6	Concrete Floor Slab, 150mm thick to	0.060	M	CB
A3	As above			
P7	Concrete Floor on following concrete slab	0.060	M	CB
P8	Concrete Floor on following concrete slab	0.060	M	CB
P9	Concrete Floor on following concrete slab	0.060	M	CB
P10	Concrete Floor on following concrete slab	0.060	M	CB
P11	Concrete Floor on following concrete slab	0.060	M	CB
P12	Concrete Floor on following concrete slab	0.060	M	CB
P13	Concrete Floor on following concrete slab	0.060	M	CB
P14	Concrete Floor on following concrete slab	0.060	M	CB
P15	Concrete Floor on following concrete slab	0.060	M	CB
P16	Concrete Floor on following concrete slab	0.060	M	CB
P17	Concrete Floor on following concrete slab	0.060	M	CB
P18	Concrete Floor on following concrete slab	0.060	M	CB
P19	Concrete Floor on following concrete slab	0.060	M	CB
P20	Concrete Floor on following concrete slab	0.060	M	CB
P21	Concrete Floor on following concrete slab	0.060	M	CB
P22	Concrete Floor on following concrete slab	0.060	M	CB
P23	Concrete Floor on following concrete slab	0.060	M	CB
P24	Concrete Floor on following concrete slab	0.060	M	CB
P25	Concrete Floor on following concrete slab	0.060	M	CB
P26	Concrete Floor on following concrete slab	0.060	M	CB
P27	Concrete Floor on following concrete slab	0.060	M	CB
P28	Concrete Floor on following concrete slab	0.060	M	CB
P29	Concrete Floor on following concrete slab	0.060	M	CB
P30	Concrete Floor on following concrete slab	0.060	M	CB
P31	Concrete Floor on following concrete slab	0.060	M	CB
P32	Concrete Floor on following concrete slab	0.060	M	CB
P33	Concrete Floor on following concrete slab	0.060	M	CB
P34	Concrete Floor on following concrete slab	0.060	M	CB
P35	Concrete Floor on following concrete slab	0.060	M	CB
P36	Concrete Floor on following concrete slab	0.060	M	CB
P37	Concrete Floor on following concrete slab	0.060	M	CB
P38	Concrete Floor on following concrete slab	0.060	M	CB
P39	Concrete Floor on following concrete slab	0.060	M	CB
P40	Concrete Floor on following concrete slab	0.060	M	CB
P41	Concrete Floor on following concrete slab	0.060	M	CB
P42	Concrete Floor on following concrete slab	0.060	M	CB
P43	Concrete Floor on following concrete slab	0.060	M	CB
P44	Concrete Floor on following concrete slab	0.060	M	CB
P45	Concrete Floor on following concrete slab	0.060	M	CB
P46	Concrete Floor on following concrete slab	0.060	M	CB
P47	Concrete Floor on following concrete slab	0.060	M	CB
P48	Concrete Floor on following concrete slab	0.060	M	CB
P49	Concrete Floor on following concrete slab	0.060	M	CB
P50	Concrete Floor on following concrete slab	0.060	M	CB
P51	Concrete Floor on following concrete slab	0.060	M	CB
P52	Concrete Floor on following concrete slab	0.060	M	CB
P53	Concrete Floor on following concrete slab	0.060	M	CB
P54	Concrete Floor on following concrete slab	0.060	M	CB
P55	Concrete Floor on following concrete slab	0.060	M	CB
P56	Concrete Floor on following concrete slab	0.060	M	CB
P57	Concrete Floor on following concrete slab	0.060	M	CB
P58	Concrete Floor on following concrete slab	0.060	M	CB
P59	Concrete Floor on following concrete slab	0.060	M	CB
P60	Concrete Floor on following concrete slab	0.060	M	CB
P61	Concrete Floor on following concrete slab	0.060	M	CB
P62	Concrete Floor on following concrete slab	0.060	M	CB
P63	Concrete Floor on following concrete slab	0.060	M	CB
P64	Concrete Floor on following concrete slab	0.060	M	CB
P65	Concrete Floor on following concrete slab	0.060	M	CB
P66	Concrete Floor on following concrete slab	0.060	M	CB
P67	Concrete Floor on following concrete slab	0.060	M	CB
P68	Concrete Floor on following concrete slab	0.060	M	CB
P69	Concrete Floor on following concrete slab	0.060	M	CB
P70	Concrete Floor on following concrete slab	0.060	M	CB
P71	Concrete Floor on following concrete slab	0.060	M	CB
P72	Concrete Floor on following concrete slab	0.060	M	CB
P73	Concrete Floor on following concrete slab	0.060	M	CB
P74	Concrete Floor on following concrete slab	0.060	M	CB
P75	Concrete Floor on following concrete slab	0.060	M	CB
P76	Concrete Floor on following concrete slab	0.060	M	CB
P77	Concrete Floor on following concrete slab	0.060	M	CB
P78	Concrete Floor on following concrete slab	0.060	M	CB
P79	Concrete Floor on following concrete slab	0.060	M	CB
P80	Concrete Floor on following concrete slab	0.060	M	CB
P81	Concrete Floor on following concrete slab	0.060	M	CB
P82	Concrete Floor on following concrete slab	0.060	M	CB
P83	Concrete Floor on following concrete slab	0.060	M	CB
P84	Concrete Floor on following concrete slab	0.060	M	CB
P85	Concrete Floor on following concrete slab	0.060	M	CB
P86	Concrete Floor on following concrete slab	0.060	M	CB
P87	Concrete Floor on following concrete slab	0.060	M	CB
P88	Concrete Floor on following concrete slab	0.060	M	CB
P89	Concrete Floor on following concrete slab	0.060	M	CB
P90	Concrete Floor on following concrete slab	0.060	M	CB
P91	Concrete Floor on following concrete slab	0.060	M	CB
P92	Concrete Floor on following concrete slab	0.060	M	CB
P93	Concrete Floor on following concrete slab	0.060	M	CB
P94	Concrete Floor on following concrete slab	0.060	M	CB
P95	Concrete Floor on following concrete slab	0.060	M	CB
P96	Concrete Floor on following concrete slab	0.060	M	CB
P97	Concrete Floor on following concrete slab	0.060	M	CB
P98	Concrete Floor on following concrete slab	0.060	M	CB
P99	Concrete Floor on following concrete slab	0.060	M	CB
P100	Concrete Floor on following concrete slab	0.060	M	CB

IQW Developments Limited
Proposed Residential Development
29-31 Moor Road, Headingley, Leeds

Sheet Name Proposed Elevation Sheet 4

Project No 8731

Drawing No 8731-BOW-ZZZ-DR-A-0016

BOWMAN RILEY
ARCHITECTS - BUILDING CONSULTANTS - INTERIORS



Notes:

1. All planting to be installed in accordance with the specifications set out in the schedule of materials and methods of construction.

2. All planting to be installed in accordance with the specifications set out in the schedule of materials and methods of construction.

3. All planting to be installed in accordance with the specifications set out in the schedule of materials and methods of construction.

Materials:

1. All planting to be installed in accordance with the specifications set out in the schedule of materials and methods of construction.

2. All planting to be installed in accordance with the specifications set out in the schedule of materials and methods of construction.

3. All planting to be installed in accordance with the specifications set out in the schedule of materials and methods of construction.

Methods:

1. All planting to be installed in accordance with the specifications set out in the schedule of materials and methods of construction.

2. All planting to be installed in accordance with the specifications set out in the schedule of materials and methods of construction.

3. All planting to be installed in accordance with the specifications set out in the schedule of materials and methods of construction.

Item	Quantity	Unit
1. All planting to be installed in accordance with the specifications set out in the schedule of materials and methods of construction.		
2. All planting to be installed in accordance with the specifications set out in the schedule of materials and methods of construction.		
3. All planting to be installed in accordance with the specifications set out in the schedule of materials and methods of construction.		

SOUTH & WEST PLANS PANEL **END OF PRESENTATION**

